

PROPOSED DEVELOPMENT - HI NOON SKI CLUB

12 BANJO DRIVE THREDBO NSW 2625

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Alterations & Additions [Bike Storage]



Department of Planning
Housing and Infrastructure

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No 24/17507

Granted on the 26/2/2025

Signed Z Derbyshire

Sheet No 11 of 29



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Project Details

PROJECT TYPE
ALTERATIONS & ADDITIONS

Applicant - HI NOON SKI CLUB
Location - 12 BANJO DRIVE THREDBO NSW 2625
Deposited Plan Number - 1119757
Lot Number - 721
Site Area - 713 sq.m

General Notes

1. These drawings are copyright and shall remain the property of TZ Design Pty Ltd. Unauthorised amendment, retension, copying and use of these documents, in any form whatsoever, is strictly prohibited.
2. These drawings are to be read in conjunction with all other consultants documents.
3. All dimensions in millimetres unless noted otherwise. Figured dimensions are to be used in preference to scaling from drawings. Any discrepancies shall be immediately referred to TZ Design. Setting out of the works by the architectural drawings unless noted otherwise.
4. Contractor must verify all dimensions on site before commencing any work or making any shop drawings which must be approved before manufacture.
5. All workmanship and materials to comply with the Building Code of Australia, relevant Australian Standards, and the requirements of all associated authorities having jurisdiction over the works.
6. Refer to the specification. The specification forms part of these drawings.
7. These drawings are intended as a guide only. Whilst every care has been taken in the preparation of these documents, no liability is assumed for the material contained herein.
8. No warranty is given or implied as to the accuracy of the whole or any part.
9. These drawings form part of the proprietor's requirements for the design and construction of this project. The builder may vary the works described in these drawings with the prior approval of TZ Design.
10. Contractors should make their own investigations and satisfy themselves with respect to all aspects of the project, including existing conditions, adjoining properties and access to the site.

Specification Notes

GENERAL NOTES
All construction is to be in accordance with the National Construction Code 2022.

Earthworks to comply with Part 3.2 of the NCC.

Drainage to comply with Part 3.3 of the NCC.

Termite risk management to comply with Part 3.4 of the NCC and AS3660.

Footings, slabs and associated elements to comply with Part 4.2 of the NCC.

Masonry to comply with Part 5 of the NCC.

Framing to comply with Part 6 of the NCC.

Roof and wall cladding to comply with Part 7 of the NCC.

Glazing to comply with Part 8 of the NCC and AS2047.

Smoke alarms to comply with Part 9.5 of the NCC.

Wet area waterproofing to comply with Part 10.2 of the NCC and AS 3740-2021.

Sanitary compartments to comply with Part 10.4 of the NCC.

Lighting in all areas to comply with Part 10.5 of the NCC.

Stairway and ramp construction to comply with Part 11.2 of the NCC.

Barriers and handrails to comply with Part 11.3 of the NCC.

Domestic solid fuel burning appliances to comply with Part 12.4 or H7D5[a] of the NCC and AS2918.

Condensation Management to comply with Part H4 Health and Amenity [Condensation and water vapour management] of the NCC, ABCB Part 10.8 and AS 4200.

Concrete construction to comply with AS3600.

Masonry construction to comply with AS3700.

Steel construction to comply with AS4100.

Timber construction to comply with AS1720, AS1684 and the Timber Framing Code.

All dimensions and levels on plans are to be confirmed on site prior to commencing construction.

All dimensions are in millimetres unless noted otherwise.

STRUCTURAL ENGINEERING NOTE
Refer to Structural Engineering Design & Specification for all structural components. Any discrepancies with Architectural Drawings shall be immediately referred to TZ Design.

Scope of Works

1. DEMOLITION
- REMOVE EXISTING STEEL RAMP / WALKWAY / STAIRS / LANDING / HANDRAIL AND ALL ASSOCIATED STEEL FRAMING IN PREPARATION FOR PROPOSED BIKE STORAGE AREA.
- REMOVE EXISTING FRONT ENTRY DOOR / PORTION OF WALL AND WINDOWS AS PER DWG'S 353-02L & 03L.
- REMOVE PORTION OF WALL IN STORE ROOM AND STORAGE IN SKI ROOM AS PER DWG 353-02L.
- REMOVE PORTION OF WALL IN WC AS PER DWG 353-02L.
- REMOVE WINDOW AWNING ABOVE STORE ROOM WINDOW AS PER DWG 353-05L.

2. EXTERNAL ACCESS AREA
- NEW CONCRETE PATH FROM ROAD TO LODGE AS PER DWG 353-03L AND STRUCTURAL ENGINEERS SPECIFICATION.
- NEW STEEL ACCESS RAMP/SUPPORTS/FRAMING FROM CONCRETE PATH TO LODGE AS PER DWG'S 353-03L & 06L AND STRUCTURAL ENGINEERS SPECIFICATION.

3. ENTRY / SKI STORE
- NEW EXTERNAL WALLS / DOOR / WINDOWS AS PER DWG'S 353-03L & 05L AND STRUCTURAL ENGINEERS SPECIFICATION.
- NEW INSULATED CEILING / ROOF PANELS TO EXISTING DECK ABOVE [ABOVE PROPOSED BIKE AREA ADDITION AND ENTRY LANDING AREA] AS PER DWG 353-05L AND STRUCTURAL ENGINEERS SPECIFICATION.
- NEW CLADDING AND WINDOWS AS SELECTED TO MATCH EXISTING.
- NEW SKI / BIKE RACK SYSTEM AS PER CLIENT'S REQUIREMENTS. REFER TO DWG'S 353-04L & 07L.

4. STORE ROOM / SOU
- NEW INTERNAL WALLS / RE-USE EXISTING WINDOW AS PER DWG'S 353-03L & 05L AND STRUCTURAL ENGINEERS SPECIFICATION.

5. BATHROOM
- NEW INTERNAL WALLS TO INCREASE FLOOR SPACE AS PER DWG 353-03L.
- NEW INT BATHROOM FITOUT, FINISHES AS SELECTED.

4. ELECTRICAL
- NEW POWER POINTS / LIGHT POINTS / LIGHT SWITCHES / TELEVISION POINT AS PER DWG 353-08L. FINISHES AS SELECTED.



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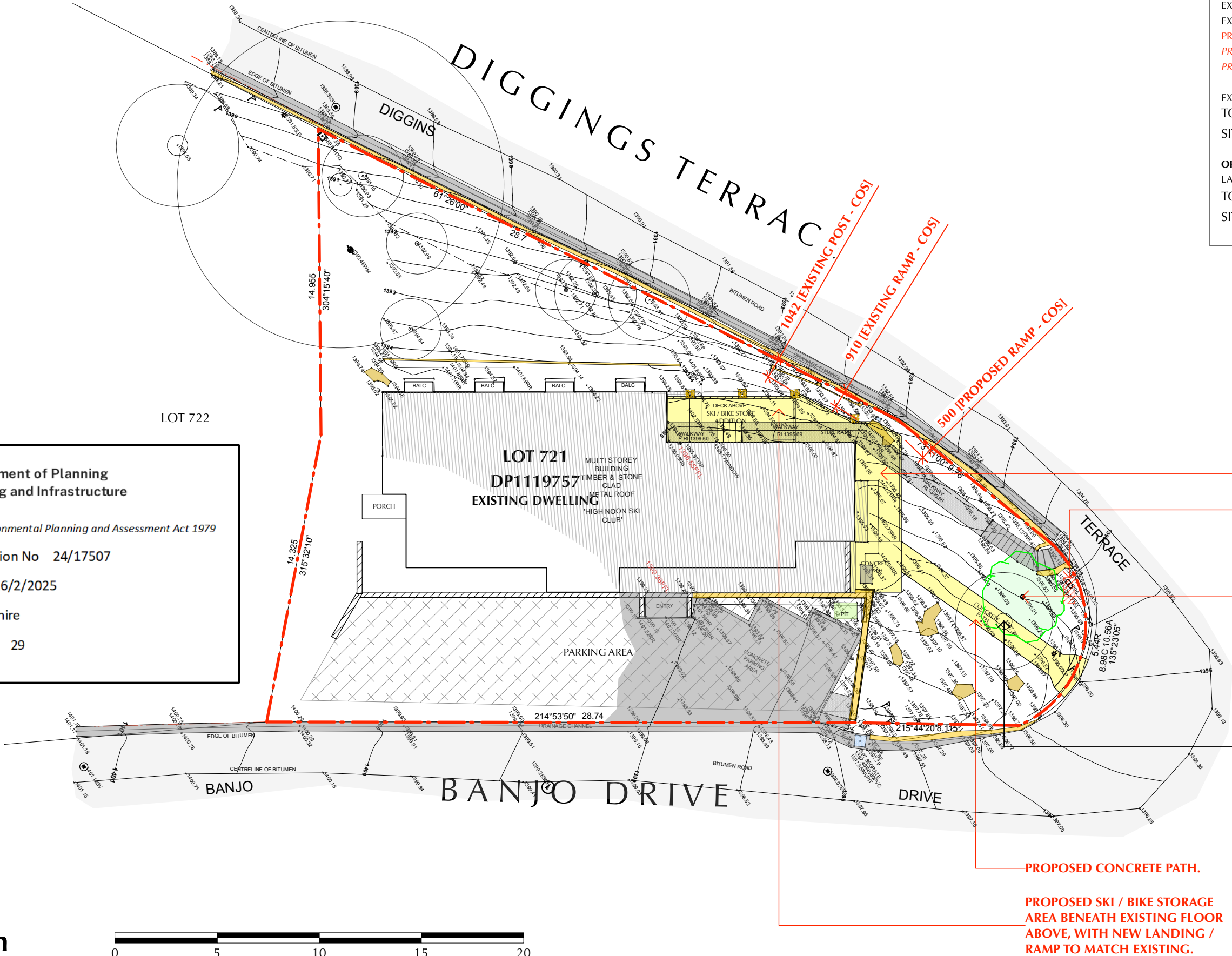
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1. Site Plan



FLOOR AREA

SITE AREA [COS] - 713 sq.m

SITE COVERAGE:

EXIST LOWER LEVEL FOOTPRINT - 175 sq.m
EXIST LOWER LEVEL PORCH / LANDING - 5 sq.m
PROPOSED LOWER LEVEL ADDITION - 14 sq.m
PROPOSED LOWER LEVEL STEEL RAMP - 18 sq.m
PROPOSED LOWER LEVEL CONCRETE PATH - 18 sq.m

EXISTING PARKING AREA [APPROX] - 140 sq.m
TOTAL FOOTPRINT AREA - 370 sq.m
SITE COVERAGE - 52%

OPEN SPACE AREA:

LANDSCAPED OPEN SPACE AREAS - 343 sq.m
TOTAL OPEN SPACE AREA - 343 sq.m
SITE COVERAGE - 48%

PROPOSED ACCESS RAMP.

LOCATION OF EXISTING LIGHT POST & STREET SIGN TO REMAIN.

LOCATION OF EXISTING TREE TO REMAIN.

NOTE: TREE SHOWN IN PATH LINE DOES NOT EXIST.

PROPOSED CONCRETE PATH.

PROPOSED SKI / BIKE STORAGE AREA BENEATH EXISTING FLOOR ABOVE, WITH NEW LANDING / RAMP TO MATCH EXISTING.

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Revisions:		
L	Contour survey details added to Site Plan. Issued for DA.	09.12.24
	Upper level floor plan added. Single Occupancy Unit [SOU] added in lieu of Storeroom.	21.01.25



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ALTERATIONS & ADDITIONS [BIKE STORAGE]
12 BANJO DRIVE THREDBO NSW 2625

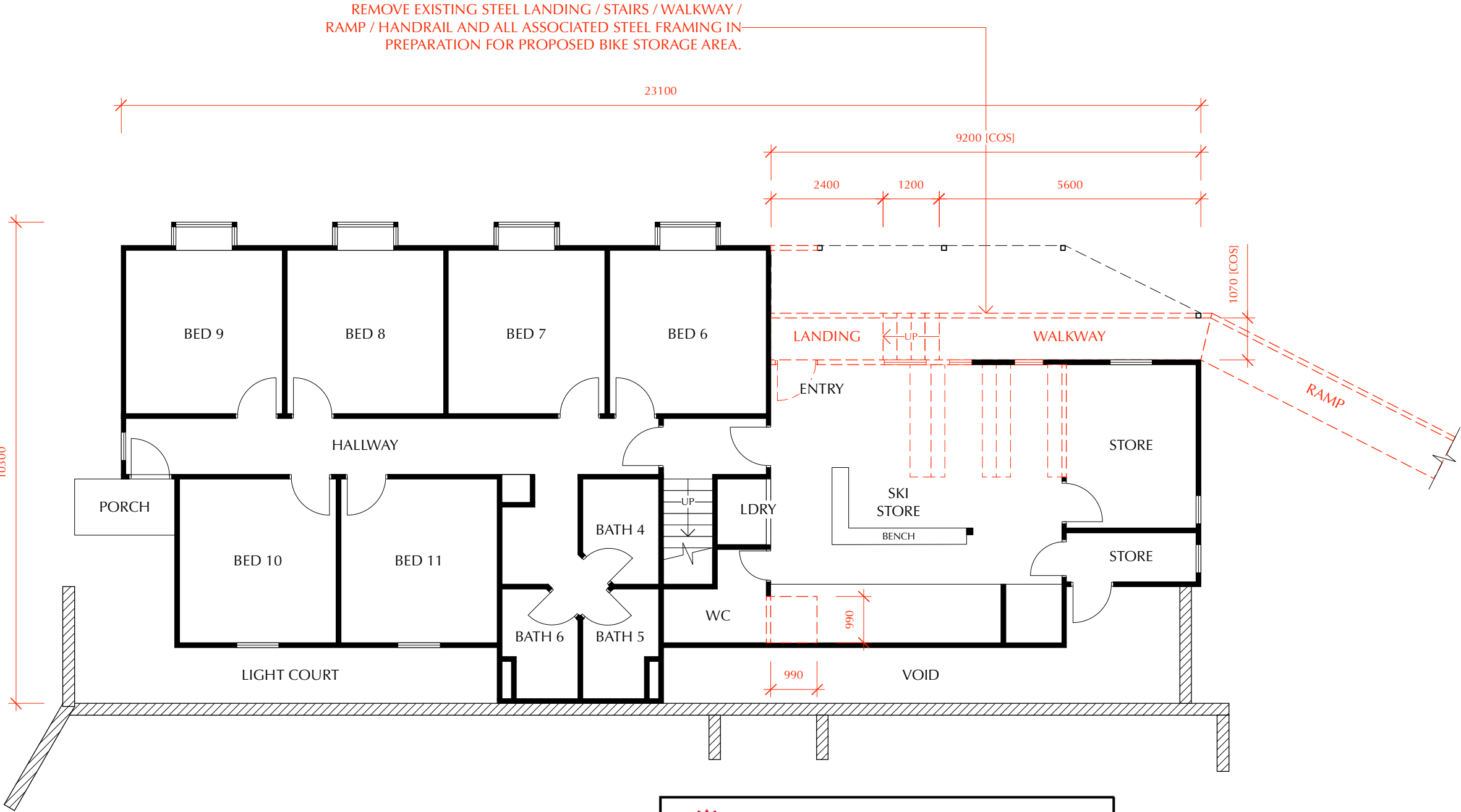
Drawing Title SITE PLAN			
Date 09.01.23	Scale 1:200 @ A3	Drawing No. 353-01	Revision L

FLOOR AREA

EXIST LOWER LEVEL FOOTPRINT -	175 sq.m
EXIST LOWER LEVEL PORCH / LANDING / STAIRS / WALKWAY [NOT INCL RAMP] -	12 sq.m
EXIST LOWER LEVEL STAIRS / WALKWAY TO BE REMOVED -	9 sq.m
TOTAL FLOOR AREA -	187 sq.m

LEGEND

- EXISTING TIMBER FRAMED EXT/INT WALLS WITH P/B LINING AND EXT CLADDING.
- TO BE REMOVED / DEMOLISHED.



1. Lower Level Floor Plan - Existing



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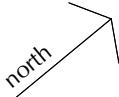
Signed Z Derbyshire

Sheet No 14 of 29



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ALTERATIONS & ADDITIONS [BIKE STORAGE]
12 BANJO DRIVE THREDBO NSW 2625

Drawing Title LOWER LEVEL FLOOR PLAN - EXISTING			
Date 09.01.23	Scale 1:100 @ A3	Drawing No. 353-02	Revision L

EXIST LOWER LEVEL FOOTPRINT -	175 sq.m
EXIST LOWER LEVEL PORCH / LANDING -	5 sq.m
<i>PROPOSED LOWER LEVEL ADDITION -</i>	<i>14 sq.m</i>
<i>PROPOSED LOWER LEVEL STEEL RAMP -</i>	<i>18 sq.m</i>

LEGEND

-
- PROPOSED STEEL LANDING / HANDRAIL AS PER EXISTING.
- PROPOSED TIMBER FRAMED WALL w/ CLADDING / WINDOWS TO MATCH EXISTING.
- 23100
- 9200 [COS]
- 6200
- 2900 [COS]
- 2300
- 1095
- 1205
- 100
- 1155
- 225
- 2450
- 1070 [COS]
- 4850 [COS]
- 5920 [COS]
- 2500 [COS]
- 9452 [COS]
- 2500
- STEEL RAMP
- ENTRY 1120
- ADDITIONAL STORAGE AREA BIKE / SKI / BOARD (1.95 x 1.75m)
- FRIDGE STORAGE AREA
- STORAGE
- SINGLE OCCUPANCY UNIT [SOU]
- 1200
- STORE
- CONCRETE PATH
- CONCRETE PATH
- VOID
- 2200
- 900
- 260
- 900
- 90
- SHW
- BATH 4
- LDry
- BATH 5
- BATH 6
- BED 9
- BED 8
- BED 7
- BED 6
- BED 10
- BED 11
- HALLWAY
- PORCH
- LIGHT COURT
- PROPOSED NEW SHOWER & FITTINGS/FIXTURES TO EXISTING WC ROOM. FINISHES AS SELECTED.
- PROPOSED ADDITION TO SKI STORE ROOM. REFER TO DRAWING 04 FOR BIKE STORAGE DETAILS.
- REUSE EXISTING WINDOW 600x600 [COS].
- 10300
- LEGEND
- EXISTING TIMBER FRAMED EXT/INT WALLS WITH P/B LINING AND EXT CLADDING.
 - NEW TIMBER FRAMED STUD WALLS WITH EXT CLADDING TO MATCH EXISTING.
 - NEW TIMBER FRAMED STUD WALLS WITH EXT CLADDING TO MATCH EXISTING.
 - PROPOSED ADDITIONS / ALTERATIONS.
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- Signed Z Derbyshire
- Sheet No 15 of 29
- 0 1 2 3 4 5 10
- Metres [1:100]
1. Lower Level Floor Plan - Proposed

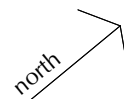
1. Lower Level Floor Plan - Proposed

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	Upper level floor plan added. Single Occupancy Unit [SOU] added in lieu of Storeroom.	21.01.25



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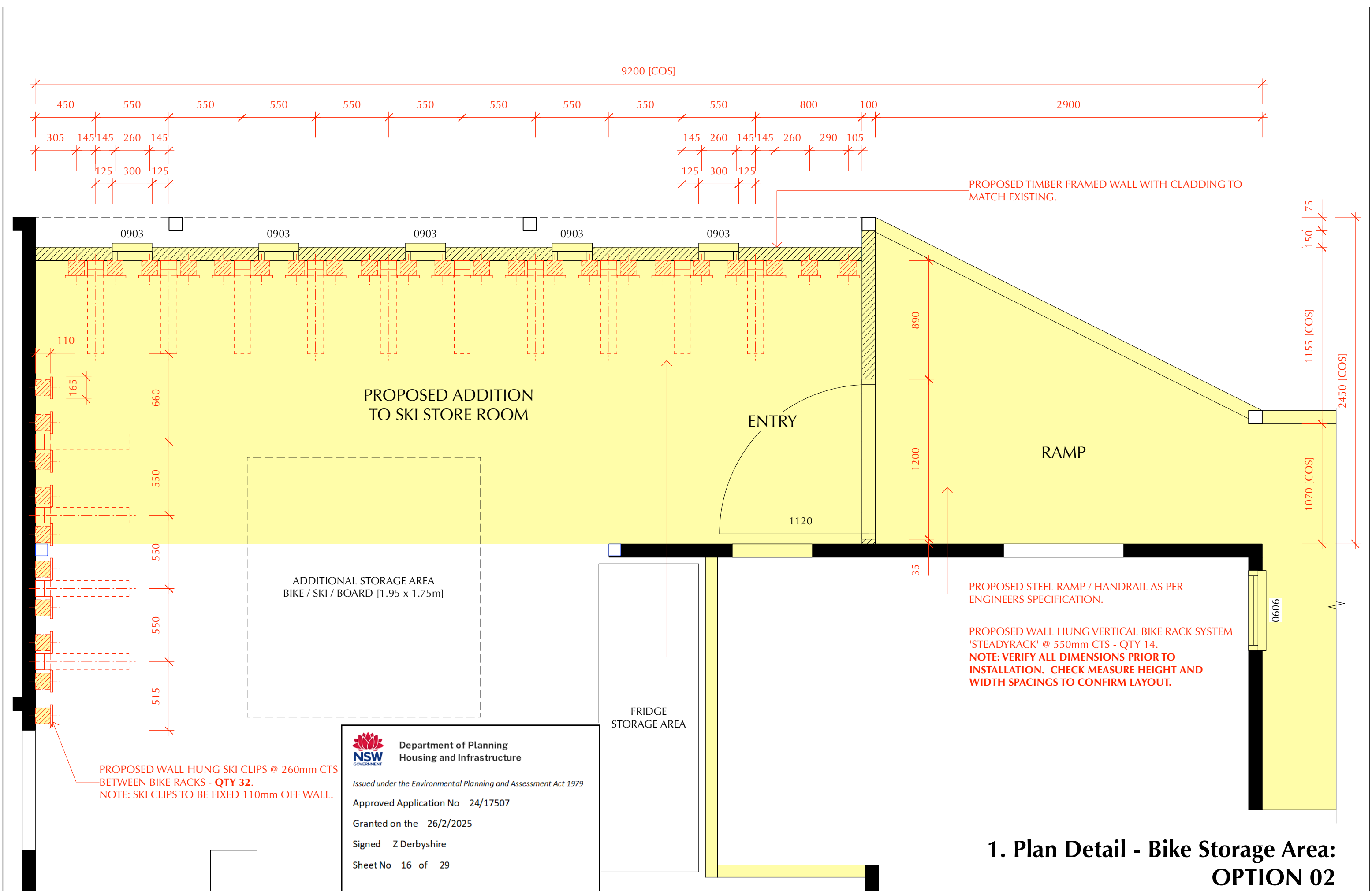
PROPOSED DEVELOPMENT - HI NOON SKI CLUB
ALTERATIONS & ADDITIONS [BIKE STORAGE]
12 BANJO DRIVE THREDBO NSW 2625


Drawing Title
LOWER LEVEL FLOOR PLAN
- PROPOSED

Date	09.01.23
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Scale
1:100 @ A3

Drawing No.	Revision
353-03	I





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1. Plan Detail - Bike Storage Area: OPTION 02

REMOVE EXISTING PORTION OF WALL AND
WINDOWS FOR PROPOSED ADDITION TO BIKE
STORAGE AREA.

REMOVE EXISTING WINDOW AWNING.

REMOVE EXISTING STEEL RAMP / WALKWAY /
STAIRS / LANDING / HANDRAIL AND ALL
ASSOCIATED STEEL FRAMING IN PREPARATION
FOR PROPOSED BIKE STORAGE AREA.

RL 1399.300

RL 1396.600

RL 1396.475

[COS] RL 1395.535

1. North/West Elevation - Existing



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REMOVE EXISTING WINDOW AWNING.

REMOVE EXISTING STEEL RAMP / WALKWAY /
STAIRS / LANDING / HANDRAIL AND ALL
ASSOCIATED STEEL FRAMING IN PREPARATION
FOR PROPOSED BIKE STORAGE AREA.

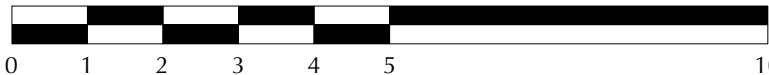
RL 1399.30

RL 1396.60

RL 1396.475

RL 1395.535

2. North/East Elevation - Existing



Metres [1:100]

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ALTERATIONS & ADDITIONS [BIKE STORAGE]
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Drawing Title ELEVATIONS 1 & 2 - EXISTING			
Date	Scale	Drawing No.	Revision
09.01.23	1:100 @ A3	353-05	L

PROPOSED TIMBER FRAMED WALL w/ CLADDING /
WINDOWS TO MATCH EXISTING.

NEW INSULATED CEILING / ROOF PANELS BELOW
EXISTING DECK [ABOVE PROPOSED BIKE AREA
ADDITION AND ENTRY LANDING AREA] AS PER
STRUCTURAL ENGINEERS SPECIFICATION.

RL 1399.300

PROPOSED STEEL LANDING / HANDRAIL TO
MATCH EXISTING OR AS SELECTED.

RL 1396.600

RL 1396.475

1. North/West Elevation - Proposed



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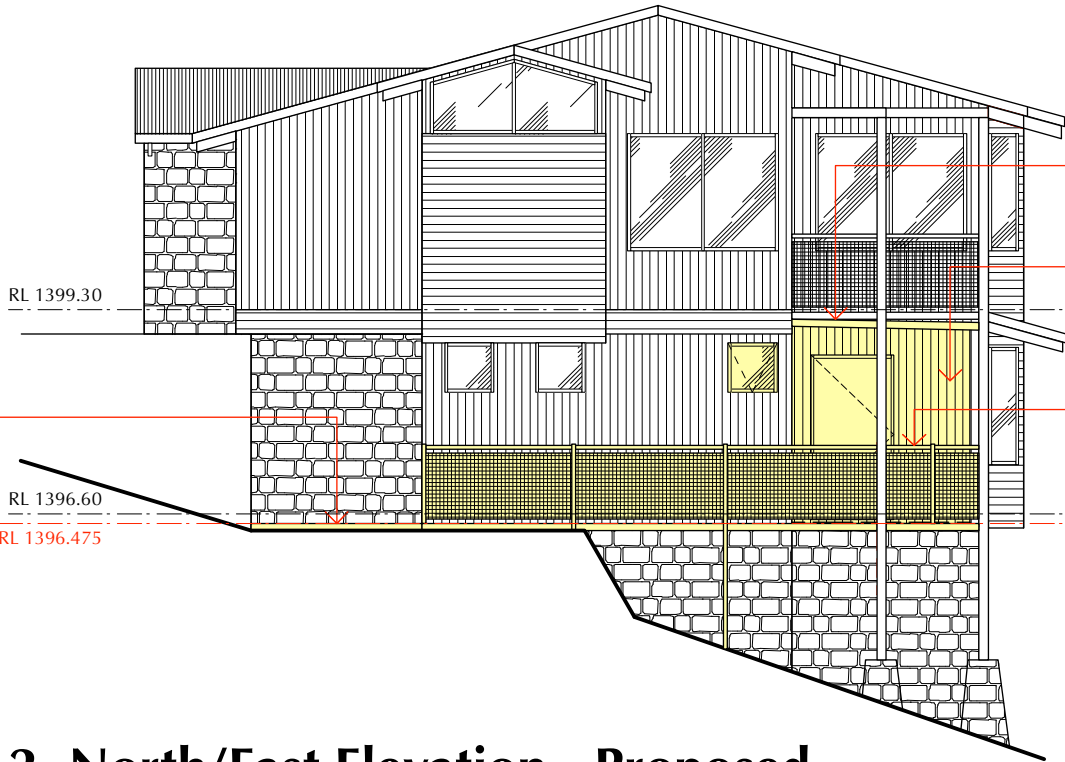
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NEW INSULATED CEILING / ROOF PANELS BELOW EXISTING DECK
[ABOVE PROPOSED BIKE AREA ADDITION AND ENTRY LANDING
AREA] AS PER STRUCTURAL ENGINEERS SPECIFICATION.

PROPOSED TIMBER FRAMED WALL WITH
CLADDING TO MATCH EXISTING.

PROPOSED STEEL LANDING / HANDRAIL TO
MATCH EXISTING OR AS SELECTED.

PROPOSED CONCRETE PATH.

RL 1399.30

RL 1396.60

RL 1396.475

2. North/East Elevation - Proposed



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Drawing Title ELEVATIONS 1 & 2 - PROPOSED			
Date	Scale	Drawing No.	Revision
09.01.23	1:100 @ A3	353-06	L



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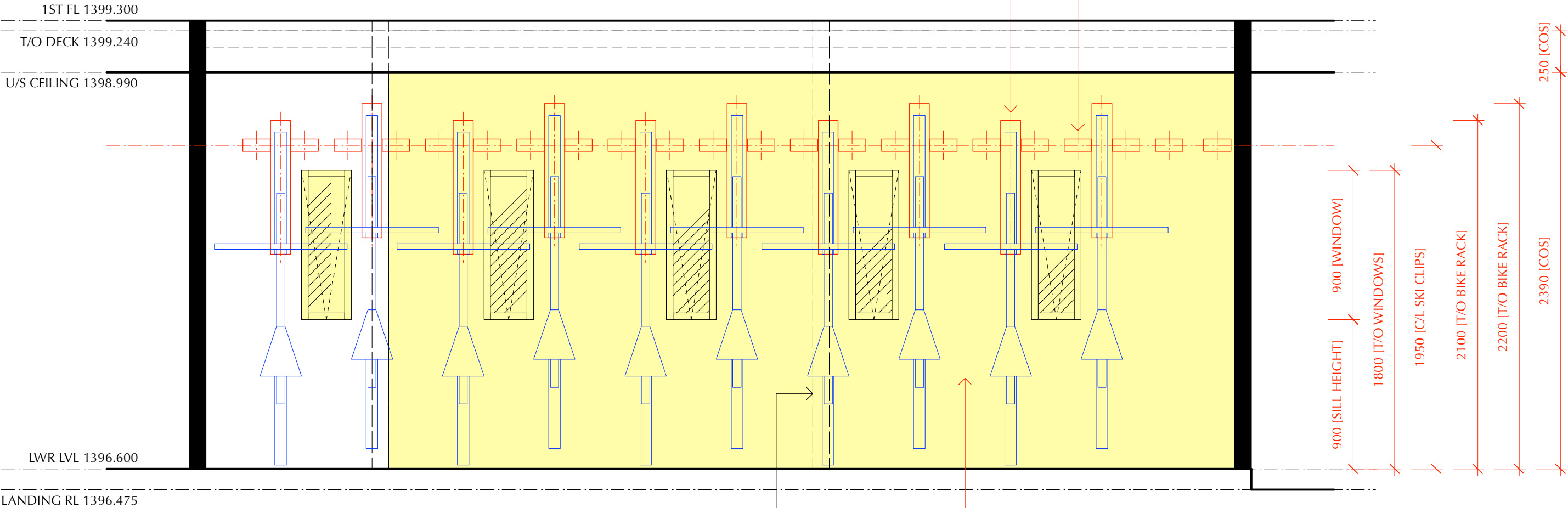
Sheet No 19 of 29

PROPOSED WALL HUNG VERTICAL BIKE RACK SYSTEM 'STEADYRACK' @ 550mm CTS.
NOTE: VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION. CHECK MEASURE HEIGHT AND WIDTH SPACINGS TO CONFIRM LAYOUT.

PROPOSED WALL HUNG SKI CLIPS @ 260mm CTS BETWEEN BIKE RACKS.

PROPOSED TIMBER FRAMED STUD WALL w/ INT P/B FINISH & WINDOWS TO MATCH EXISTING.










EXISTING EXTERNAL POSTS.

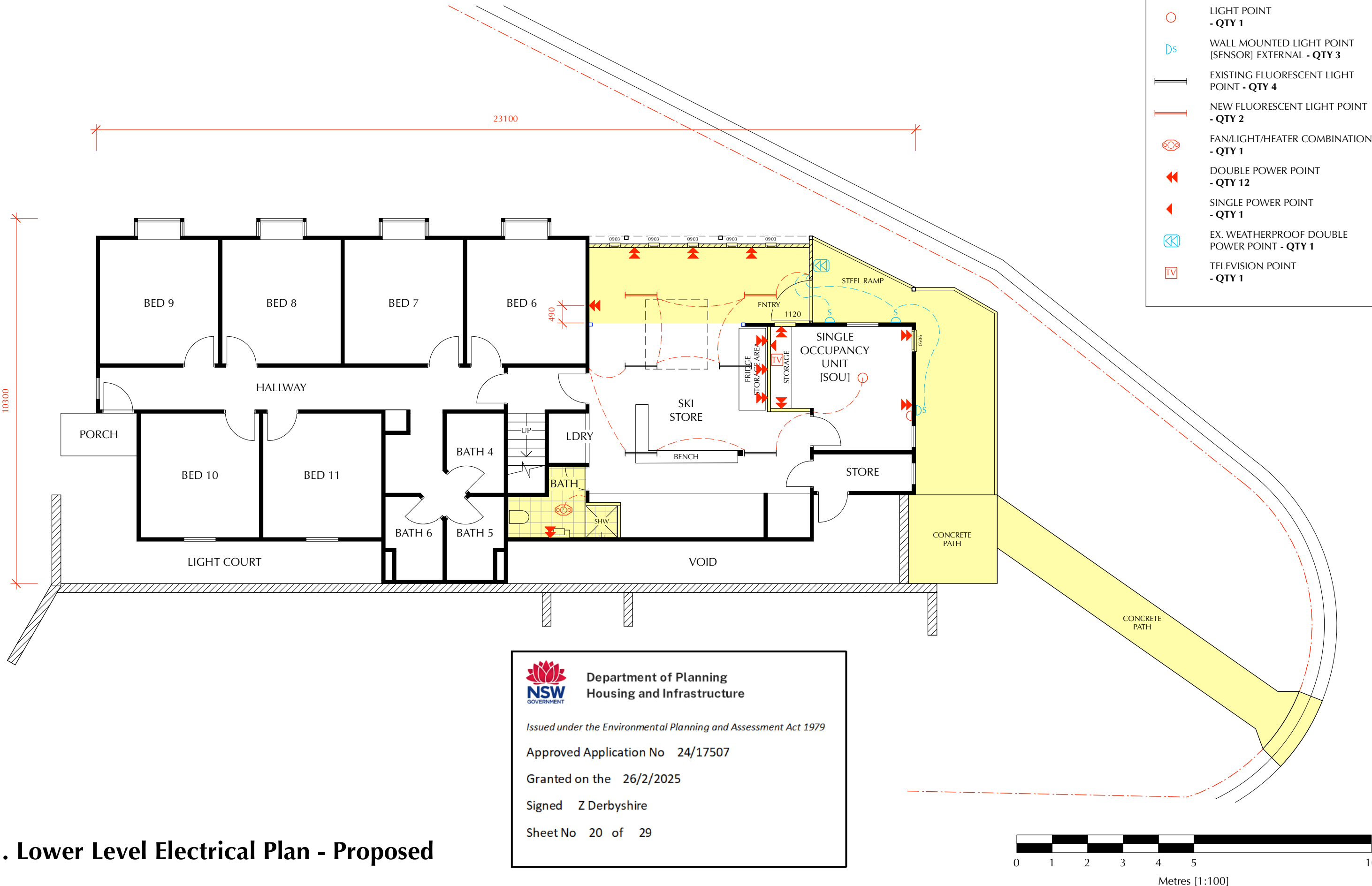


1. Int Elevation - Bike Storage Area: OPTION 02

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	L	Contour survey details added to Site Plan.			INT ELEVATION		- BIKE STORAGE AREA	
		Issued for DA.						
		09.12.24		Date	Scale	Drawing No.	Revision	
				09.01.23	1:100 @ A3	353-07	L	

ELECTRICAL LEGEND

-  LIGHT POINT
- QTY 1
-  WALL MOUNTED LIGHT POINT
[SENSOR] EXTERNAL - QTY 3
-  EXISTING FLUORESCENT LIGHT
POINT - QTY 4
-  NEW FLUORESCENT LIGHT POINT
- QTY 2
-  FAN/LIGHT/HEATER COMBINATION
- QTY 1
-  DOUBLE POWER POINT
- QTY 12
-  SINGLE POWER POINT
- QTY 1
-  EX. WEATHERPROOF DOUBLE
POWER POINT - QTY 1
-  TELEVISION POINT
- QTY 1



1. Lower Level Electrical Plan - Proposed

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Drawing Title LOWER LEVEL ELECTRICAL PLAN - PROPOSED			
Date 09.01.23	Scale 1:100 @ A3	Drawing No. 353-08	Revision L