

PROPOSED DEVELOPMENT - HI NOON SKI CLUB 12 BANJO DRIVE THREDBO NSW 2625

Index

-	Notes
353-01-L	Site Plan
353-02-L	Lower Level Floor Plan - Existing
353-03-L	Lower Level Floor Plan - Proposed
353-04-L	Plan Detail - Bike Storage Area
353-05-L	Elevations 1 & 2 - Existing
353-06-L	Elevations 1 & 2 - Proposed
353-07-L	Int Elevation - Bike Storage Area
353-08-L	Lower Level Electrical Plan - Proposed
353-09-L	Upper Level Floor Plan - Existing

Alterations & Additions [Bike Storage]



Department of Planning
Housing and Infrastructure

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Approved Application No 24/17507

Granted on the 26/2/2025

Signed Z Derbyshire

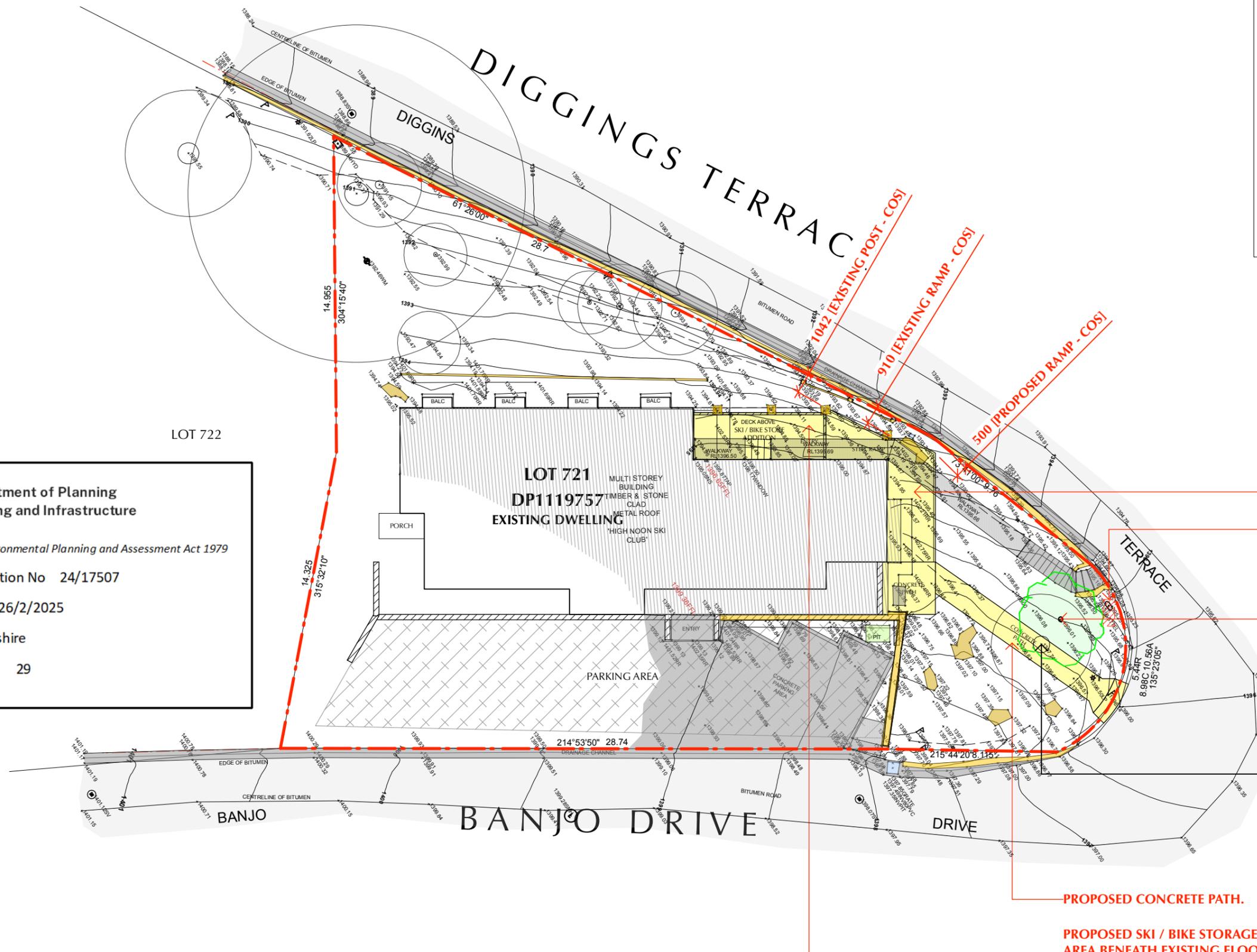
Sheet No 11 of 29



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m 0407 002814 e tzkpan@bigpond.net.au

FLOOR AREA

SITE AREA [COS] -	713 sq.m
SITE COVERAGE:	
EXIST LOWER LEVEL FOOTPRINT -	175 sq.m
EXIST LOWER LEVEL PORCH / LANDING -	5 sq.m
PROPOSED LOWER LEVEL ADDITION -	14 sq.m
PROPOSED LOWER LEVEL STEEL RAMP -	18 sq.m
PROPOSED LOWER LEVEL CONCRETE PATH -	18 sq.m
EXISTING PARKING AREA [APPROX] - 140 sq.m	
TOTAL FOOTPRINT AREA -	370 sq.m
SITE COVERAGE -	52%
OPEN SPACE AREA:	
LANDSCAPED OPEN SPACE AREAS -	343 sq.m
TOTAL OPEN SPACE AREA -	343 sq.m
SITE COVERAGE -	48%



- PROPOSED ACCESS RAMP.
- LOCATION OF EXISTING LIGHT POST & STREET SIGN TO REMAIN.
- LOCATION OF EXISTING TREE TO REMAIN.
- NOTE: TREE SHOWN IN PATH LINE DOES NOT EXIST.

PROPOSED CONCRETE PATH.
 PROPOSED SKI / BIKE STORAGE AREA BENEATH EXISTING FLOOR ABOVE, WITH NEW LANDING / RAMP TO MATCH EXISTING.

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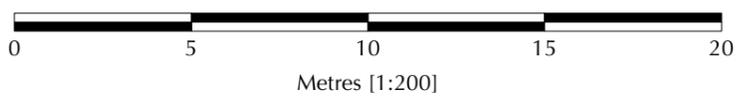
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Sheet No 13 of 29

1. Site Plan



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Revisions:	
L Contour survey details added to Site Plan. Issued for DA.	09.12.24
Upper level floor plan added. Single Occupancy Unit [SOU] added in lieu of Storeroom.	21.01.25

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Drawing Title SITE PLAN		Date	Scale	Drawing No.	Revision
		09.01.23	1:200 @ A3	353-01	L

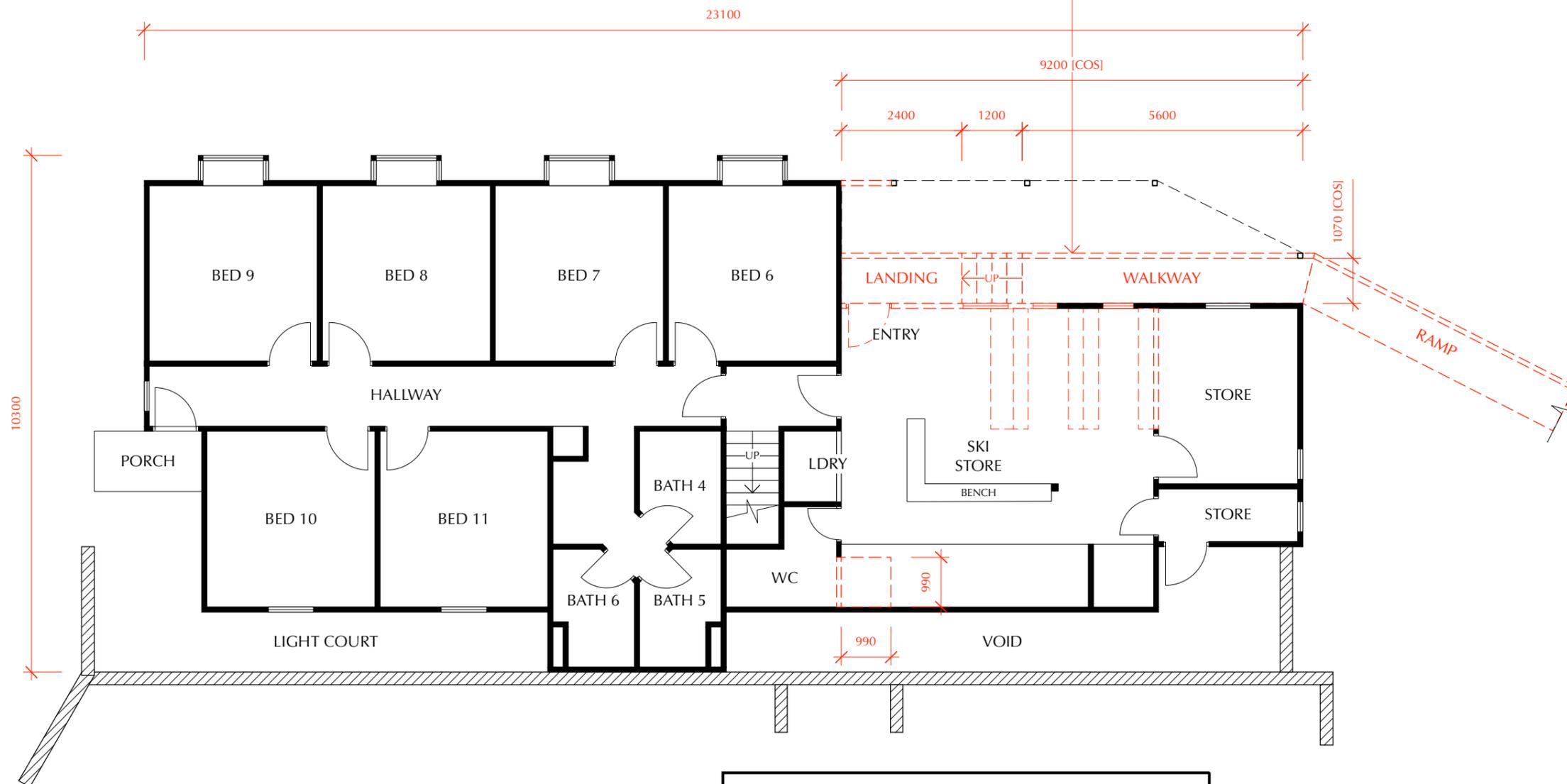
FLOOR AREA

EXIST LOWER LEVEL FOOTPRINT -	175 sq.m
EXIST LOWER LEVEL PORCH / LANDING / STAIRS / WALKWAY [NOT INCL RAMP] -	12 sq.m
EXIST LOWER LEVEL STAIRS / WALKWAY TO BE REMOVED -	9 sq.m
TOTAL FLOOR AREA -	187 sq.m

LEGEND

-  - EXISTING TIMBER FRAMED EXT/INT WALLS WITH P/B LINING AND EXT CLADDING.
-  - TO BE REMOVED / DEMOLISHED.

REMOVE EXISTING STEEL LANDING / STAIRS / WALKWAY / RAMP / HANDRAIL AND ALL ASSOCIATED STEEL FRAMING IN PREPARATION FOR PROPOSED BIKE STORAGE AREA.



1. Lower Level Floor Plan - Existing

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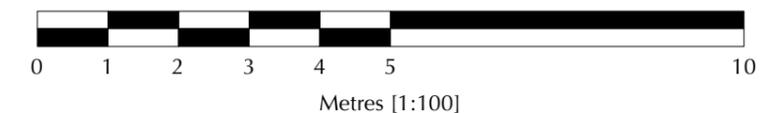
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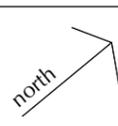
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Drawing Title LOWER LEVEL FLOOR PLAN - EXISTING		Date	Scale	Drawing No.	Revision
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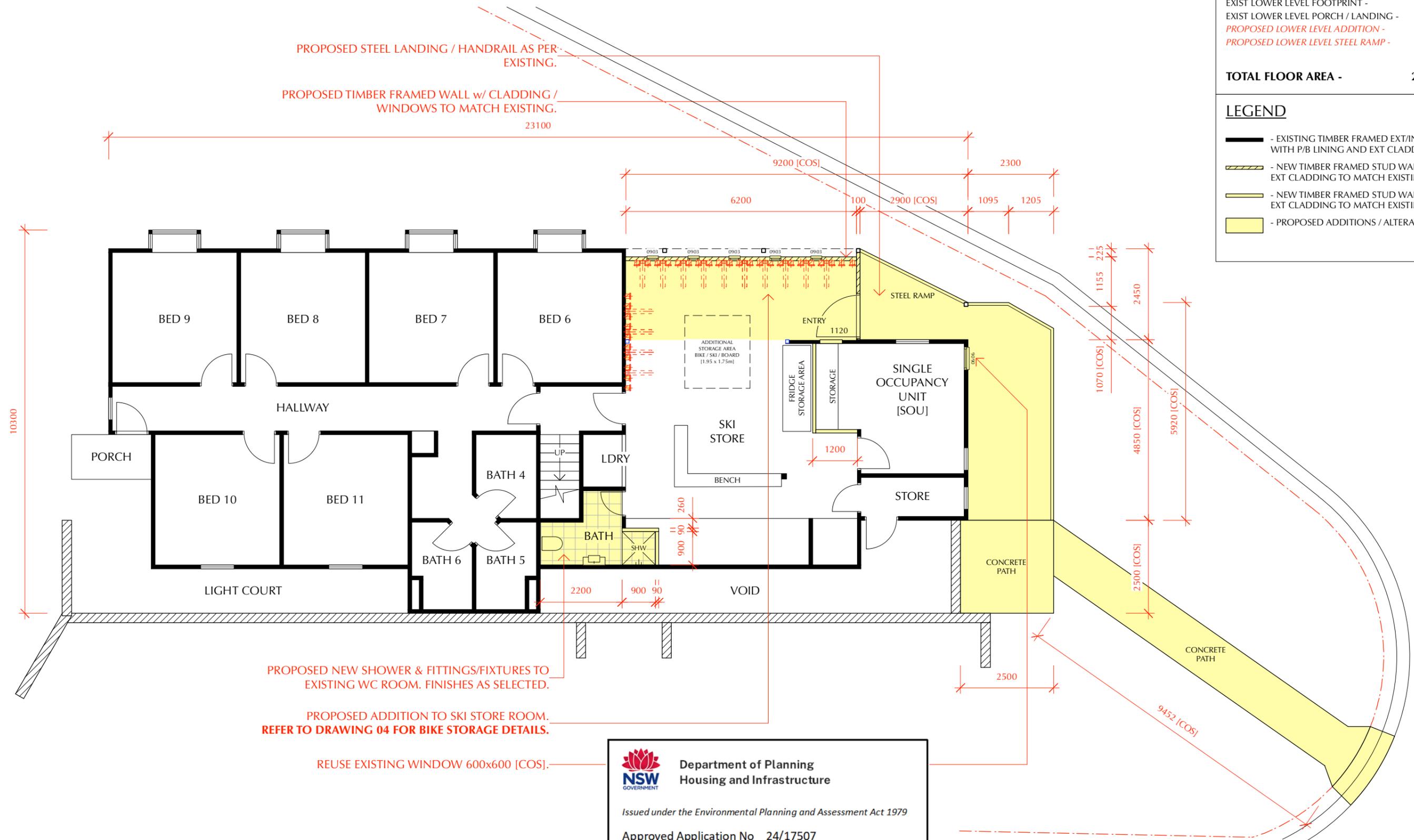
FLOOR AREA

EXIST LOWER LEVEL FOOTPRINT -	175 sq.m
EXIST LOWER LEVEL PORCH / LANDING -	5 sq.m
PROPOSED LOWER LEVEL ADDITION -	14 sq.m
PROPOSED LOWER LEVEL STEEL RAMP -	18 sq.m

TOTAL FLOOR AREA - 212 sq.m

LEGEND

-  - EXISTING TIMBER FRAMED EXT/INT WALLS WITH P/B LINING AND EXT CLADDING.
-  - NEW TIMBER FRAMED STUD WALLS WITH EXT CLADDING TO MATCH EXISTING.
-  - NEW TIMBER FRAMED STUD WALLS WITH EXT CLADDING TO MATCH EXISTING.
-  - PROPOSED ADDITIONS / ALTERATIONS.



1. Lower Level Floor Plan - Proposed

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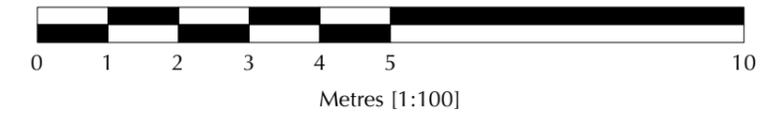
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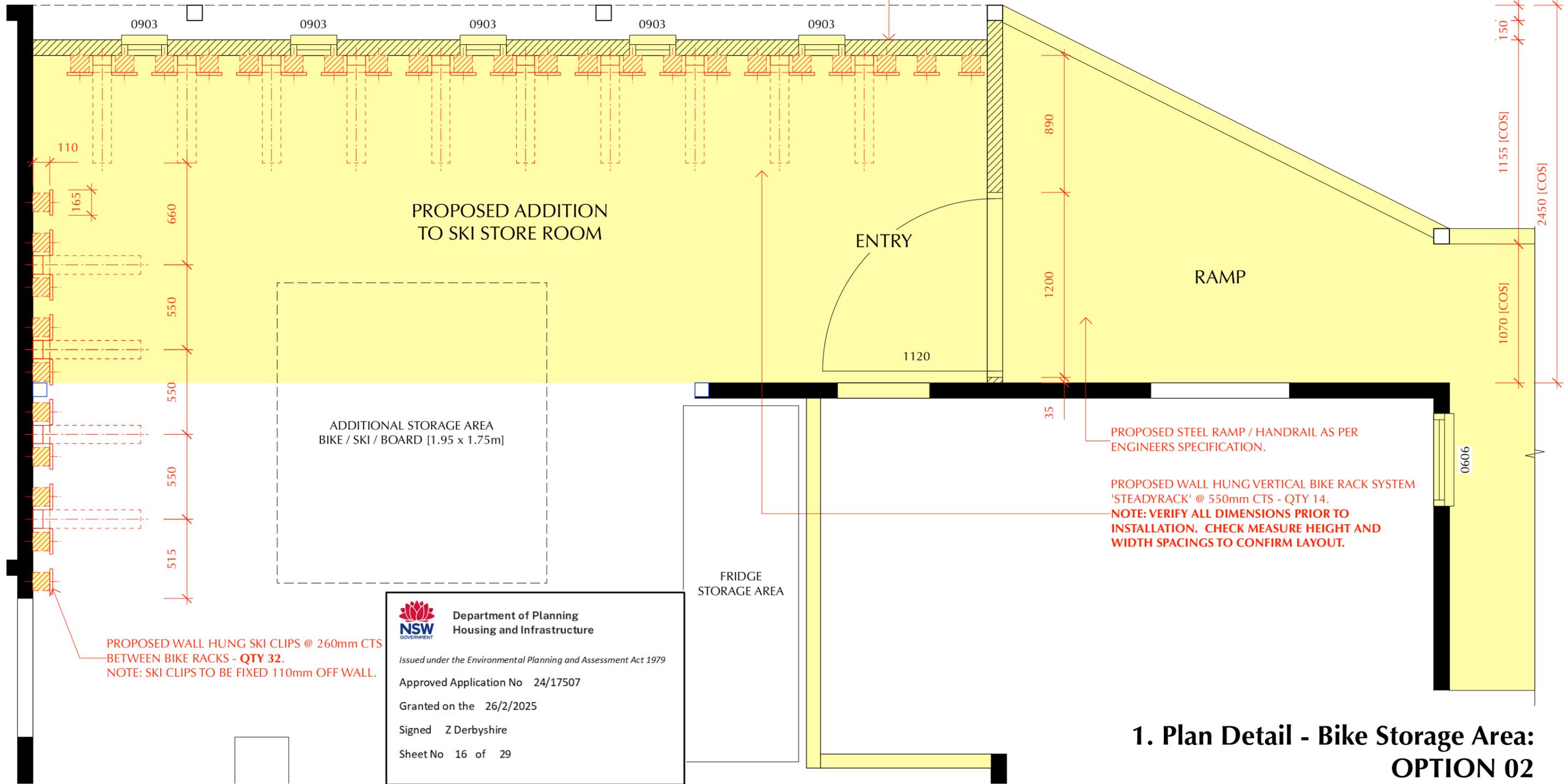
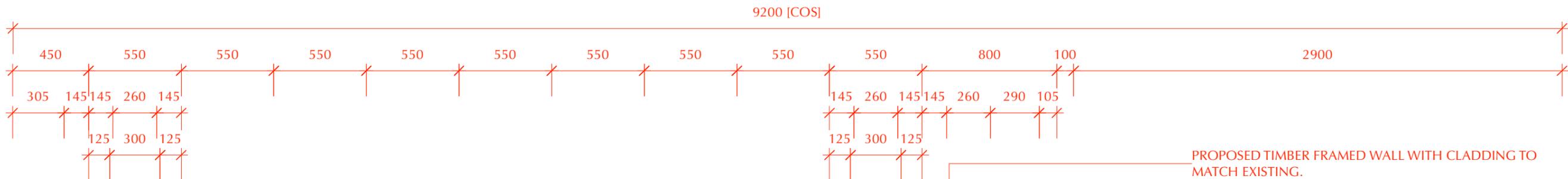
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Drawing Title LOWER LEVEL FLOOR PLAN - PROPOSED		Date	Scale	Drawing No.	Revision
		09.01.23	1:100 @ A3	353-03	L

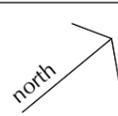



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1. Plan Detail - Bike Storage Area: OPTION 02

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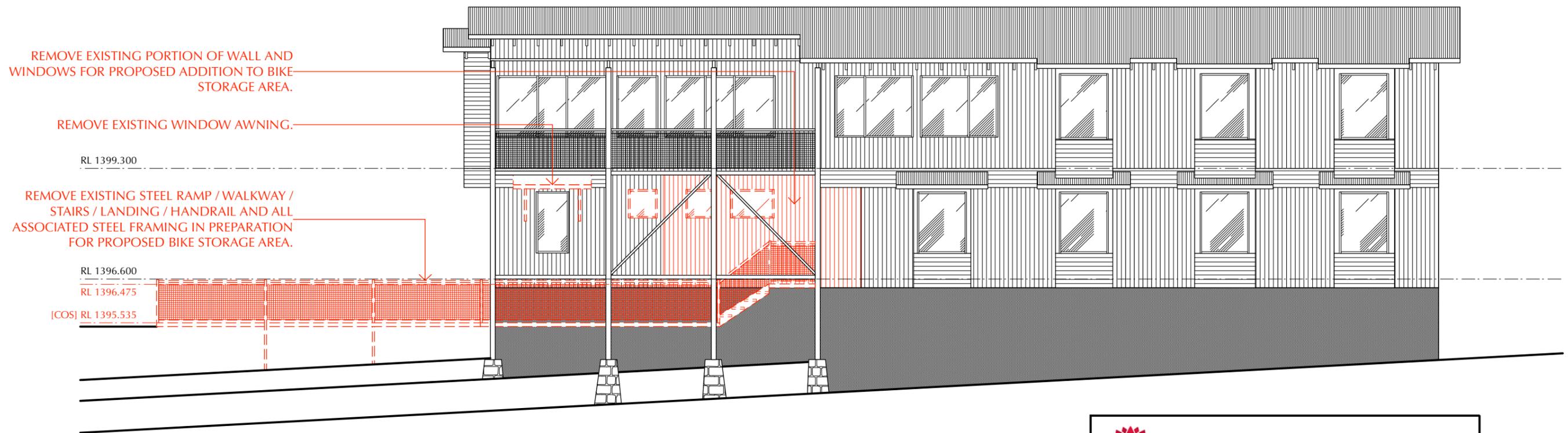
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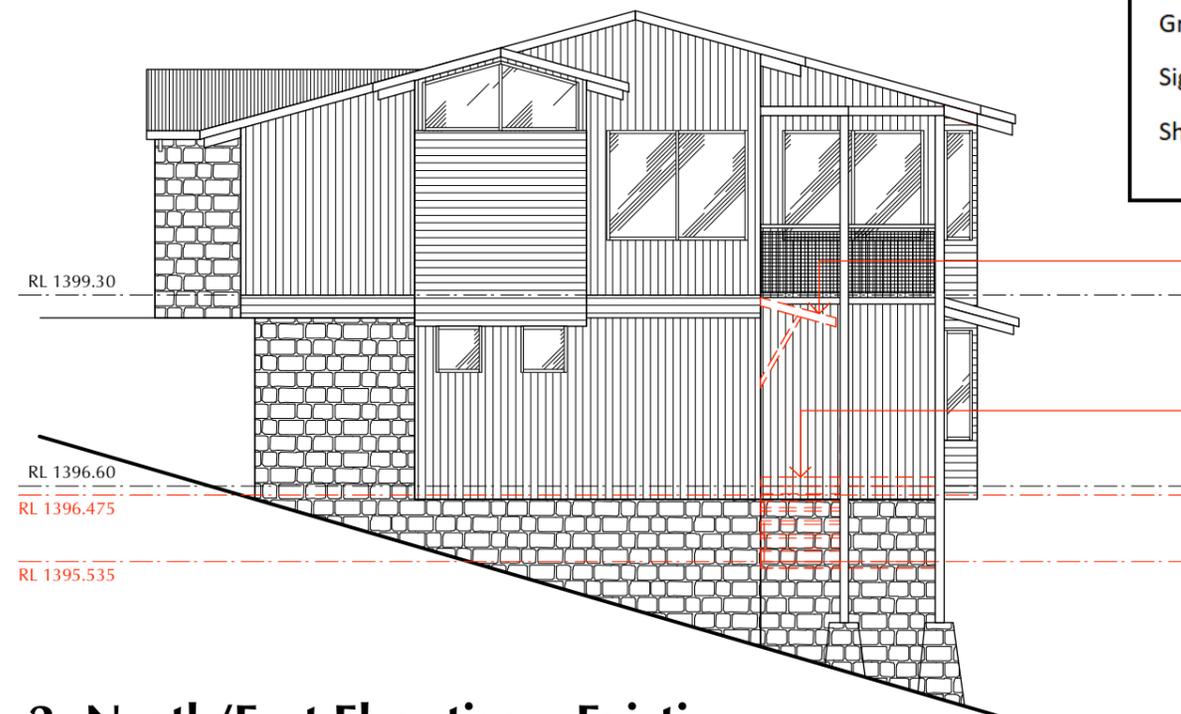
PROPOSED DEVELOPMENT - HI NOON SKI CLUB
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 12 BANJO DRIVE THREDBO NSW 2625

Drawing Title		Drawing No.		Revision	
PLAN DETAIL - BIKE STORAGE AREA		353-04		L	
Date	Scale				
09.01.23	1:25 @ A3				



1. North/West Elevation - Existing

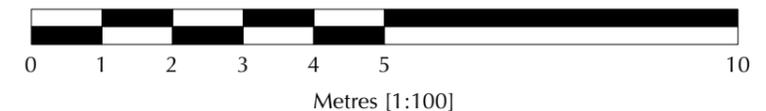

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 Sheet No 17 of 29



2. North/East Elevation - Existing

REMOVE EXISTING WINDOW AWNING.

REMOVE EXISTING STEEL RAMP / WALKWAY / STAIRS / LANDING / HANDRAIL AND ALL ASSOCIATED STEEL FRAMING IN PREPARATION FOR PROPOSED BIKE STORAGE AREA.



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Drawing Title ELEVATIONS 1 & 2 - EXISTING		Date	Scale	Drawing No.	Revision
09.01.23		09.01.23	1:100 @ A3	353-05	L

PROPOSED TIMBER FRAMED WALL w/ CLADDING /
WINDOWS TO MATCH EXISTING.

NEW INSULATED CEILING / ROOF PANELS BELOW
EXISTING DECK [ABOVE PROPOSED BIKE AREA
ADDITION AND ENTRY LANDING AREA] AS PER
STRUCTURAL ENGINEERS SPECIFICATION.

RL 1399.300

PROPOSED STEEL LANDING / HANDRAIL TO
MATCH EXISTING OR AS SELECTED.

RL 1396.600

RL 1396.475

1. North/West Elevation - Proposed



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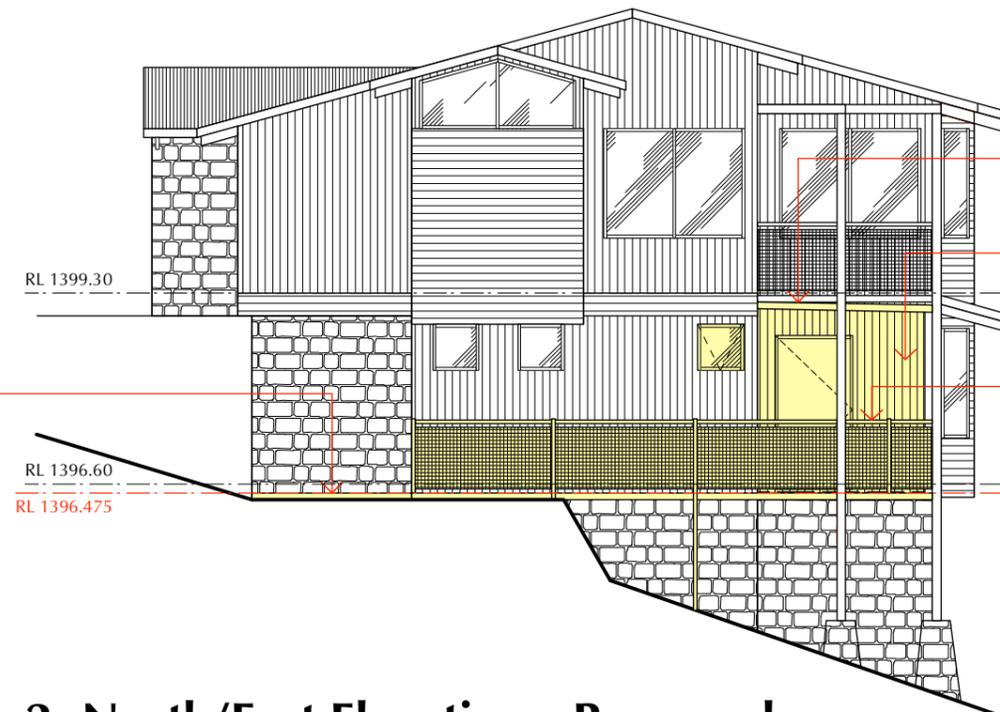
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Sheet No 18 of 29



RL 1399.30

RL 1396.60

RL 1396.475

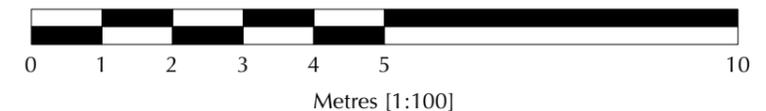
NEW INSULATED CEILING / ROOF PANELS BELOW EXISTING DECK
[ABOVE PROPOSED BIKE AREA ADDITION AND ENTRY LANDING
AREA] AS PER STRUCTURAL ENGINEERS SPECIFICATION.

PROPOSED TIMBER FRAMED WALL WITH
CLADDING TO MATCH EXISTING.

PROPOSED STEEL LANDING / HANDRAIL TO
MATCH EXISTING OR AS SELECTED.

PROPOSED CONCRETE PATH.

2. North/East Elevation - Proposed



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Drawing Title
ELEVATIONS 1 & 2
- PROPOSED

Date
09.01.23

Scale
1:100 @ A3

Drawing No.	Revision
353-06	L



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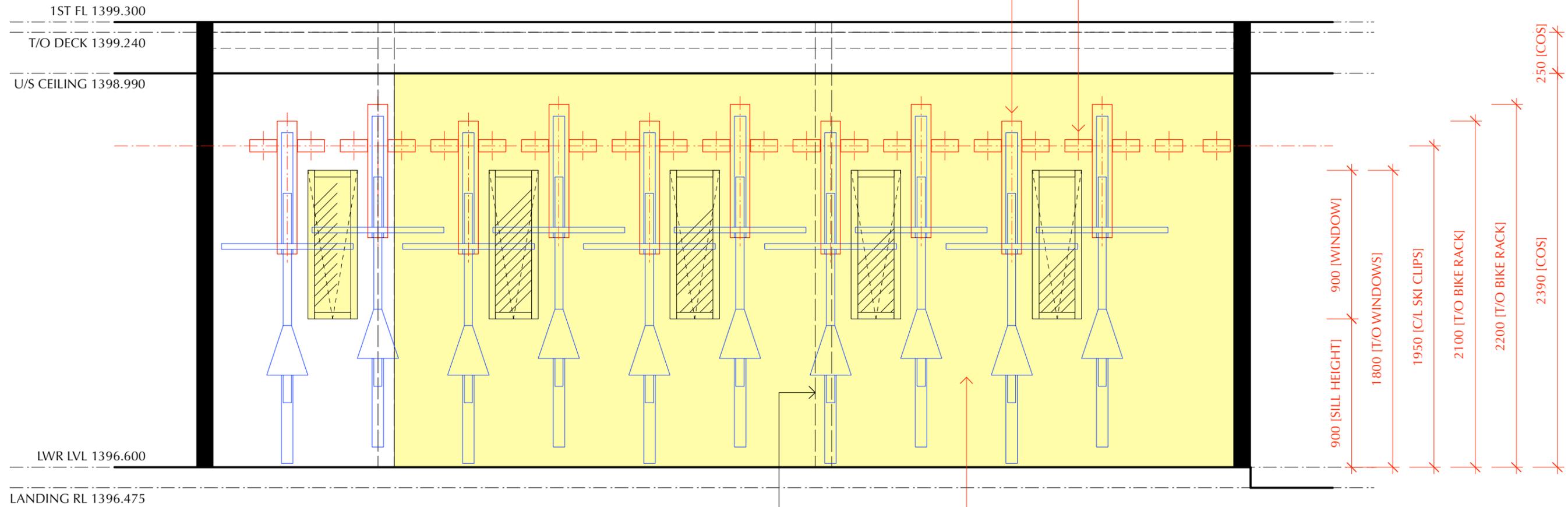
Sheet No 19 of 29

PROPOSED WALL HUNG VERTICAL BIKE RACK SYSTEM 'STEADYRACK' @ 550mm CTS.
NOTE: VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION. CHECK MEASURE HEIGHT AND WIDTH SPACINGS TO CONFIRM LAYOUT.

PROPOSED WALL HUNG SKI CLIPS @ 260mm CTS BETWEEN BIKE RACKS.

PROPOSED TIMBER FRAMED STUD WALL w/ INT P/B FINISH & WINDOWS TO MATCH EXISTING.

EXISTING EXTERNAL POSTS.



1. Int Elevation - Bike Storage Area: OPTION 02

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Drawing Title
INT ELEVATION
- BIKE STORAGE AREA

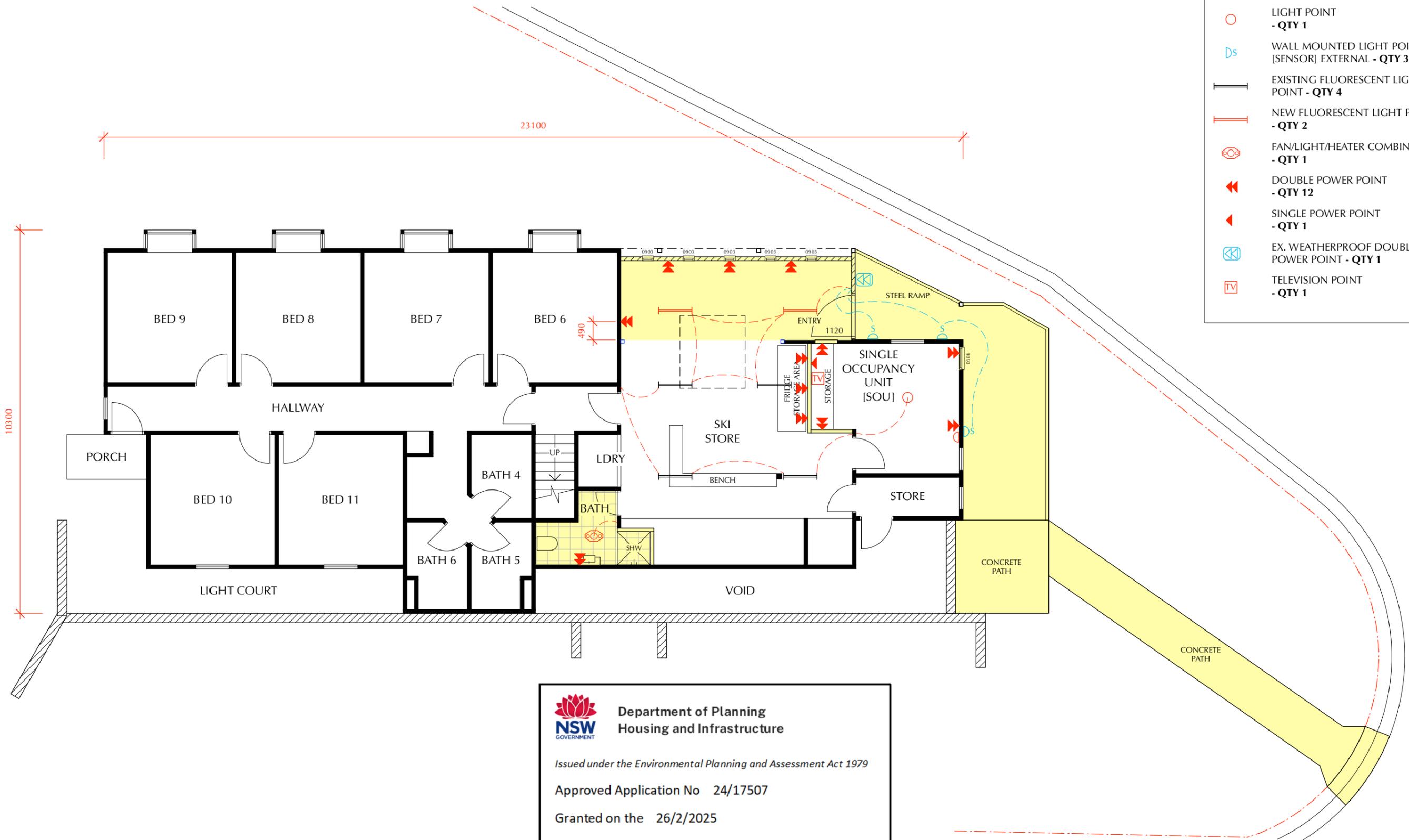
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Drawing No. Revision
353-07 L

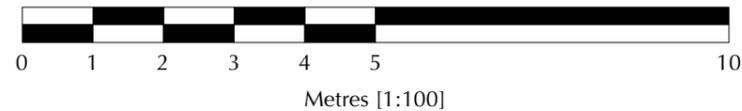
ELECTRICAL LEGEND

-  LIGHT POINT - QTY 1
-  WALL MOUNTED LIGHT POINT [SENSOR] EXTERNAL - QTY 3
-  EXISTING FLUORESCENT LIGHT POINT - QTY 4
-  NEW FLUORESCENT LIGHT POINT - QTY 2
-  FAN/LIGHT/HEATER COMBINATION - QTY 1
-  DOUBLE POWER POINT - QTY 12
-  SINGLE POWER POINT - QTY 1
-  EX. WEATHERPROOF DOUBLE POWER POINT - QTY 1
-  TELEVISION POINT - QTY 1




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 Sheet No 20 of 29



1. Lower Level Electrical Plan - Proposed

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Drawing Title LOWER LEVEL ELECTRICAL PLAN - PROPOSED		Date	Scale	Drawing No.	Revision
		09.01.23	1:100 @ A3	353-08	L